

Thank you for your interest in *Roof Consultants, Inc.*

We have been providing quality services for building owners and managers for over 30 years and have over 100 years of combined experience in the roofing business.

RCi

roof consultants, inc

Complete Project Management from Start to Finish

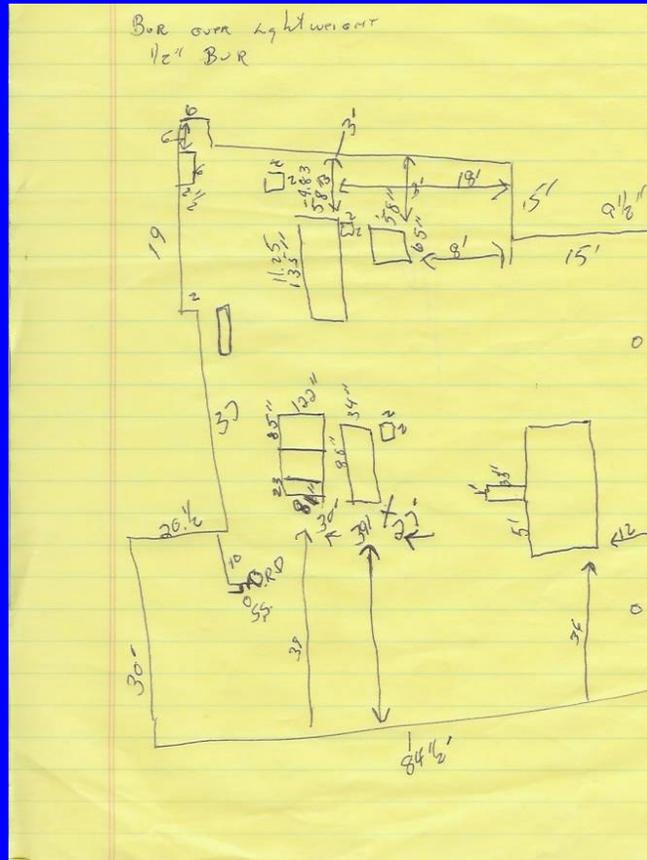


Initial Roof Inspection



Completed Roofing Project

Initial Roof Inspection



A Visual inspection is performed and the roof is measured. A rough sketch provides information on the locations of all roof projections, HVAC units, drains, flashings and unique design challenges.

Photographic Inspection



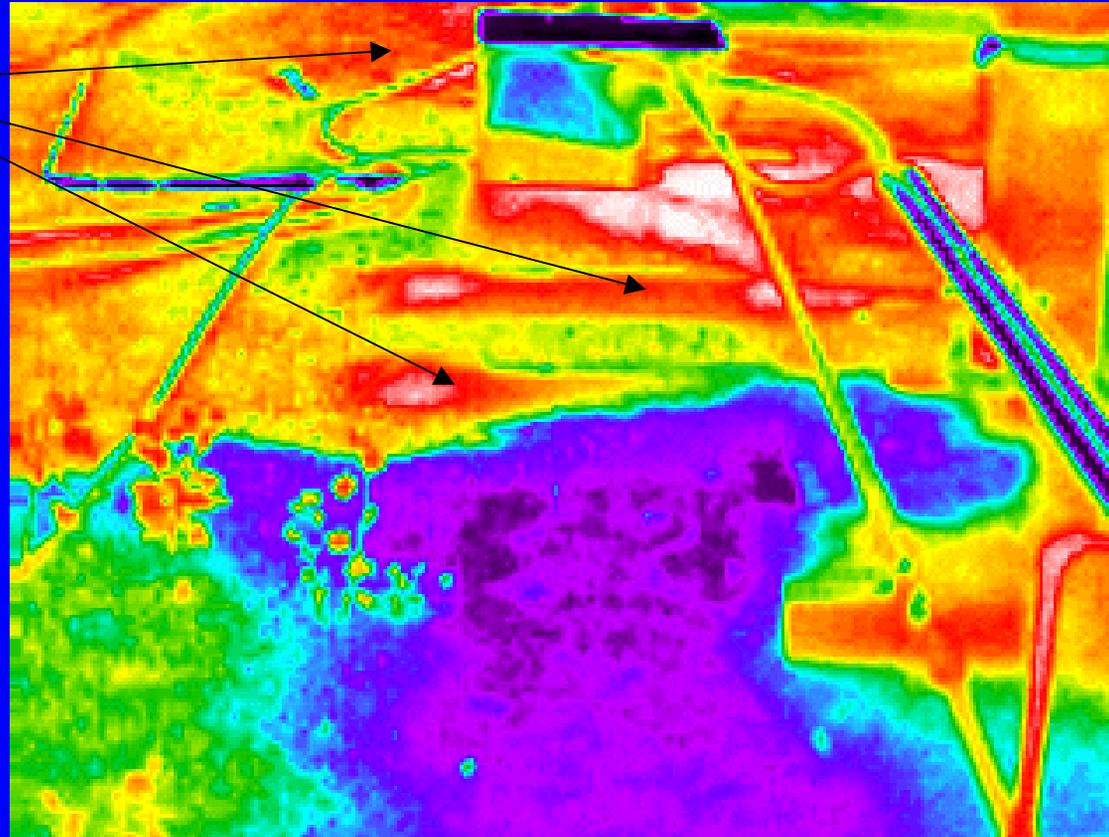
Photos are taken of roof components. Including:

- HVAC unit curbs
- Overview
- Drainage patterns
- Wall flashings
- Drains
- Incorrect applications
- Any deficiencies



Infrared Inspection

Wet



If requested and necessary, an infrared inspection is performed to determine the extent of wet roof insulation.

Moisture and Core Inspections



Moisture Meters are used to verify if there is wet insulation at locations indicated by the infrared scan. Cores are taken to determine the type of insulation and the amounts of roofing on the building as well as the deck type and attachments.

REPORTS

Roof History

Honeywell

Warranty Number: _____
Date Issued: _____

BUILT-UP ROOFING WARRANTY

BUILDING NAME: _____ ROOFING SPEC: _____
ADDRESS: _____ FLASHING SPEC: _____

BUILDING OWNER: _____ ROOF AREA: _____
ADDRESS: _____ FLASHING AREA: _____

ROOFING CONTRACTOR: _____ COMPLETION DATE: _____
ADDRESS: _____

HONEYWELL INTERNATIONAL, INC., A DELAWARE CORPORATION, WARRANTS to the above named Building Owner that, when the above specified roofing system (Roofing System) is installed in accordance with current Honeywell specifications and details, Honeywell, subject to the conditions contained herein, for a period of _____ years from the Completion Date stated above (such year period being referred to as the Warranty Period), will at its expense, repair or cause to be repaired the Roofing System described in this Warranty to the extent necessary to return the Roof System to a watertight condition.

TERMS OF COVERAGE

During the Warranty period, and subject to the other terms, conditions, and limitations of this Warranty, Honeywell will take appropriate action, as necessary, to return the Roof System to a watertight condition when leaks (passing of water through roofing or flashing membrane into the interior of a building) result from any of the following causes:

1. Defects in workmanship or ordinary wear and tear of the Black Armor Roofing Membrane, the approved base flashing and insulation.
2. Built-up roofing membrane or base flashing deficiencies not caused by metal work, structural movement or structural failures allowing water entry into the building.
3. Deterioration of the membrane caused by standing water alone.

This warranty has no aggregate dollar limit on covered repairs. If, however, during the Warranty period, in Honeywell's judgment a warranted repair cost would be in excess of the then remaining value of the Roofing System, Honeywell will, in full discharge of any obligations under this Warranty, provide the Building Owner with an amount equal to the remaining value as determined by Honeywell, but without reduction for any previous repairs.

CONDITIONS

This Warranty is valid only when the roofing and flashing specifications identified above incorporating Honeywell materials are applied by a Honeywell Authorized Contractor in accordance with Honeywell's applicable specifications and details. If the roofing system utilizes insulation, that insulation must be supplied or approved by Honeywell. All flashing systems must be coated with a Honeywell aluminum roof coating at least every five years. Annual Roofing System inspections are the responsibility of and shall be conducted by the Building Owner or its representative. These inspection reports shall be made available to Honeywell upon request.

Honeywell shall have no obligation under this warranty unless and until Honeywell, the authorized applicator, and material suppliers have been paid in full for all materials, supplies, services, warranty costs and other costs which are included in, or incidental to, the Roof System.

SHOULD A LEAK OCCUR

In the event of a leak, it must be reported within 72 hours of discovery. Failure to notify Honeywell of a leak or repair within 72 hours will, at Honeywell's discretion, render this Warranty null and void, and Honeywell shall have no further obligations hereunder. Notice shall be given in writing to: Honeywell Commercial Roofing Systems, 2000 Regency Parkway, Suite 255, Cary, NC 27511. (Fax: 919/461-4720)

Emergency Repairs

If emergency conditions exist and immediate temporary repairs are required to avoid building damage, Honeywell will reimburse the Building Owner for those reasonable repair expenses which would have otherwise been Honeywell's responsibilities but for the emergency condition.

INCLUDES:

- WARRANTIES
- DATES OF INSTALLATION
- CONTRACTOR INFORMATION
- TYPE OF SYSTEM
- TYPE OF INSULATION
- TYPE OF DECKING
- TYPES OF FLASHINGS
- SLOPE
- DRAINAGE

Inspection & Deficiency Report

DEFICIENCIES AND DETAILS Site 841 Chicago, Il				
P	PHOTO	DETAIL	SEVERITY	DESCRIPTION
1		OVERVIEW LOOKING NORTH	N/A	VIEW OF THE BUILT UP AND GRAVEL ROOF ON THE ABOVE SITE LOOKING TO THE NORTH EAST FROM THE SOUTHWEST CORNER
2		SOUTHWEST CORNER	MODERATE	PROJECTIONS EXTENDING FROM THE ROOF AT THE VERY SOUTHWEST CORNER OF THE BUILDING. IMPROPER INSTALLATION OF SEAL FOR THE CORNER PROJECTION
3		SOUTHEAST CORNER DRAIN AND SCUPPER	SEVERE	THE DRAIN IS COMPLETELY OBSTRUCTED WITH DEBRIS FROM THE ROOF. ATTEMPTED REPAIRS AROUND THE DRAIN ARE PEELING AWAY FROM THE ROOF SURFACE
4		DRAIN 2 ALONG EAST WALL	SEVERE	THE DRAIN IS COMPLETELY OBSTRUCTED WITH DEBRIS FROM THE ROOF. ATTEMPTED REPAIRS AROUND THE DRAIN ARE PEELING AWAY FROM THE ROOF SURFACE
5		ROOF EXHAUST FAN	MODERATE	OLD REPAIRS MADE AROUND THE CURB FLASHING OF THE EXHAUST FAN HAVE FAILED. REPAIRS WERE MADE WITH ONLY ROOF MASTIC
6		TYPICAL HVAC UNIT ON ROOF	N/A	THERE ARE 4 UNITS LIKE THIS ON THE ROOF MOUNTED ON CURBS

Repair / Replace Recommendations



Repair:

Remove all standing water and debris from roof.

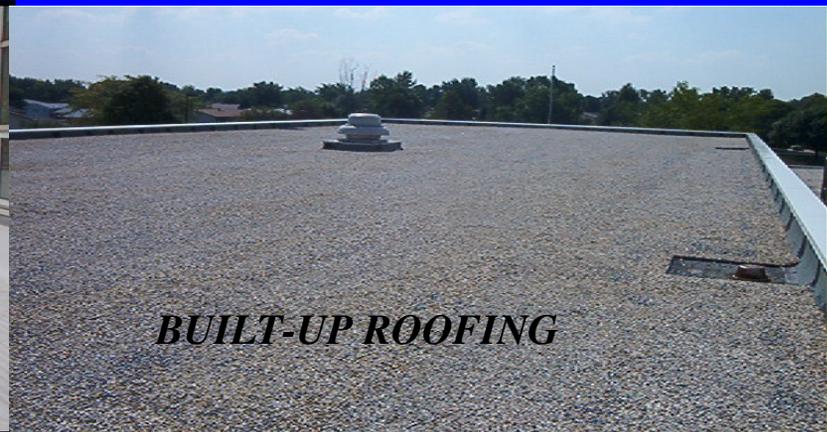
Install new roof drain per building code.

Replace:

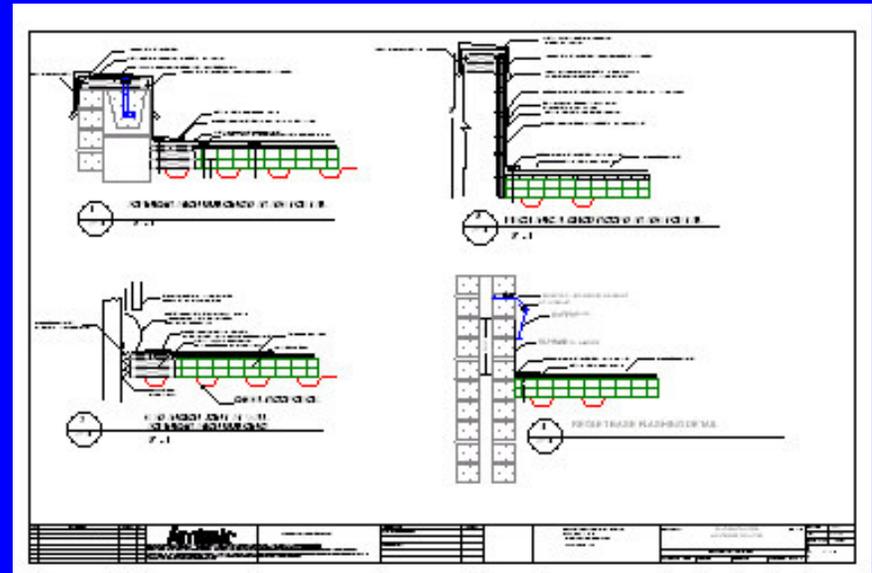
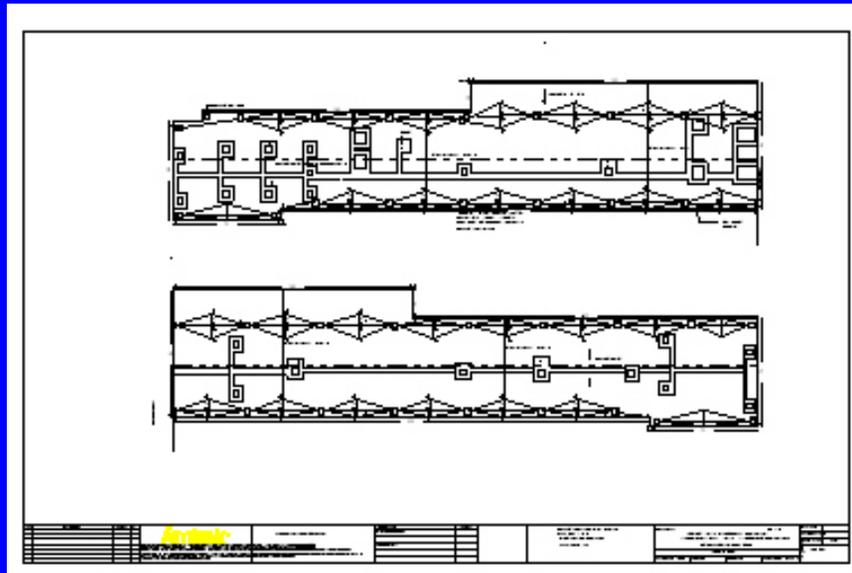
Remove all existing layers of roofing, insulation, gravel and debris from the underlying decking.

Install new roof system per specifications.

New Roof System Selection



CAD Drawings



Specifications

SECTION 01100 - SUMMARY

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

1.2 WORK COVERED BY CONTRACT DOCUMENTS

- A. Project Identification: ROOFING AND MECHANICAL WORK 2004
 - 1. Project Location: Grundy County Court House
 - 2. Owner: Grundy County, Illinois
- B. Architect Identification: The Contract Documents, dated, October, 2004 were prepared for Project by Al Kravitz ,Roof Consultants, Inc.
- C. The Work consists of Removal and Replacement of all roofing insulation and surfacing on the A, B and E and replacement with combination 1/4 and 1/8 inch tapered insulation and installation of a Mineral Surfaced (White) APP modified bitumen membrane system with a 20 Yr. NDL . Work also includes replacement of roof curbs, supports and some ductwork. In addition resurfacing of sections C and D with White Urethane Coating system with a 10-year watertight manufacturers' warranty. New drains are to be installed in Section A to accommodate drainage.

Complete Job Specification are written for the project

The Bid Process

- Contractors are invited to bid on the project.
- A Pre-bid meeting of all contractors is arranged with *RCi* reviewing the plans and specifications.
- Contractors all bid on the same installation.
- Bids are received and reviewed with owners.
- Contractor selection is made.

Post Bid Process

- *RCi* will conduct a pre-construction meeting with the selected contractor to review conditions, project requirements, logistics and owner concerns.
- A schedule is established for the sequence of the work.

Quality Assurance

If requested *RCi* will provide a full time quality assurance observer on the project.

Why do you need a full time site inspector on your job?

- Over 70% of all construction litigation involves roofing installations.
- Roofing is the 2nd highest rated trade for Workman's Compensation (due to injury and claims made).
- Not all contractors install all roofs according to written specifications and industry standards.

Contractors are finding it increasingly difficult to find qualified workers.

HELP WANTED

Roofer wanted: Must have a minimum of 1 year experience in all types of roofing. Must be a U.S. Citizen or Legal Alien and speak and read the English language. Work in poor conditions less than 1500 hours per year. Good hourly pay. Call:555-5555

A slow economy will cause some contractors to bid lower on projects just to get a job .

If they have the opportunity, some contractors will cut corners on a job just to make a little more profit.

Roofing is a Dangerous Trade



Many accidents are caused by un-necessary clutter

Roof-top temperatures cause stress on all workers

Temperatures at foot level exceed 165° F



Asphalt temperatures exceed 425° F



When It Comes To Roofing..... is what you see what you are really getting?



These two crews appear to be installing the same roofing material but, there are significant differences in the job.

Roof failure due to poor system selection



Fasteners clip plates were installed too tight resulting in tears around fasteners.

Roof leaks cause millions of dollars in damages every year



This area is beneath the previous picture.

Roof Failure.... not applied to specifications



Here the contractor did not install a cover board insulation, adhere the base sheet to the insulation and did not even melt the torch applied modified bitumen membrane. This roof flaps in the wind.

Improperly stored and damaged materials will lead to premature roof failure.



A job site inspector assures you that materials that are used are all first quality and not damaged or rejected from other projects.



Inspectors assure compliance with safety rules and OSHA regulations.



Full time inspectors assure all aspects of the project are installed according to specifications and industry standards.



Proper Temperatures



Accounting of Wood & Deck Replacement



Correct Fastening Pattern



Proper Application of Roofing and Details

Custom job reports specific to your project

Job Progress Report for the Roofing Work at Grundy County Administration Bldg.

PHOTO	DETAIL	Temp/Hum	DISCRIPTION OF DETAIL
	June 12, 2003 Day 15	59F / 66%	Roof Removal in beginning of the day
	Procedure		Deck Inspection prior to coating application
	Procedure		Deck Inspection prior to coating application. Notice the mortar in the flutes of the deck from the original construction
	Procedure		Deck being prepared for coating
	Application		Coating being installed on decking
	Application		Coating being installed on decking
	Application		Correct fastening pattern and placement of insulation

Inspection of decking prior to application of new insulation.

From start to finish a safely and correctly installed new roof.



ROOF REMOVAL IN PROGRESS



PROPER APPLICATION OF INSULATION



PROPER APPLICATION OF ROOF MEMBRANE



FINAL ACCEPTANCE OF COMPLETED ROOF SYSTEM